

Marshall Main Street Program

BUILDING SURVEY

Telephone (217) 826-9023

Structure Address: 521 Locust

Date: 7/20/2011

Reference No.: Lot 2 Block 39
08082406102011 Original town
of Maos hill

Prepared By: Eleanor Macke



Name of Present Business: Clark County Genealogy Library

Type of Business: Genealogy Library - research

Present Building Owner: Clark Co Genealogy Society

Estimated Construction Date: 1873

Original Business or Use: Korn Drugs 1875

Historic Name: South Side Meat Market, Maos Frontage

Any drawings or pictures of early building available: yes

Marshall Main Street Program

708 Archer Avenue

Telephone (217-826-9023)

BUILDING SURVEY

Structure Address: 521 Locust St.

Date: 1-08

Reference No.: _____

Prepared by: Karen Cowan



Name of Present Business: Clark County Genealogical Library

Type of Business: _____

Present Business Owner: Clark County Genealogical Library

Estimated Construction Date: _____

Original Business Use: _____

Historic Name: _____

Any drawings or pictures of early building available: _____

Marshall Main Street Program

BUILDING SURVEY

Telephone (217) 826-9023

Structure Address: 521 Locust

Date: 2008

Reference No.: _____

Prepared By: Kacey Cowan

Location: South Side of Courthouse Square

Dimensions: Width 50 ft. Length _____

Corner Building:

Structure Height: 1-Story 2-Story 3-Story

Foundation: Concrete Stone Block/Brick Other Type _____

Exterior Walls: Brick Stone Vertical Wood Siding
 (Above 1st Floor) Horizontal Wood Wood Shingle Stucco
 Asphalt Siding Asbestos Siding Artificial Stone
 Concrete Block Aluminum Siding Other

(First Floor) Brick Stone Vertical Wood Siding
 Horizontal Wood Wood Shingle Stucco
 Asphalt Siding Asbestos Siding Artificial Stone
 Concrete Block Aluminum Siding Other Black Glass

Windows Wood Metal Double Hung
 (Above 1st Floor) Casement Sliding Stained, leaded or beveled
 (Side Hinge) Boarded Replaced with brick & filled Other type _____

(First Floor) Wood Metal Double Hung
 Casement Sliding Stained, leaded or beveled
 (Side Hinge) Boarded Replaced with brick & filled Other type _____

Store Front Display Area Rippled or Colored above display Clear above display

Marshall Main Street Program

BUILDING SURVEY

Telephone (217) 826-9023

Structure Address: _____

Date: _____

Reference No.: _____

Prepared By: _____

Any original or early interior features still in tact (lights, tin ceiling, etc.)

Integrity of original structure:

- Unaltered
- Slight modification on the building
- Slight modification 1st floor only
- Major modification entire building
- Major modification 1st floor only

Ease to restore original appearance:

- Very easy Restore windows, take down awnings, etc.

Moderate

Difficult

Very Difficult

COPY

May 8, 2001

Mr. Chris Knorr
Illinois Main Street
Illinois Historic Preservation Agency
One Old State Capitol Plaza
Springfield, IL 62701

Dear Chris:

Please find enclosed a Design Assistance Request Form for the Clark County Genealogical Library, 521 Locust Street. This building is directly behind the Clark County Courthouse on the south side of the square.

Officials have discovered that over the years, moisture on the inside of the large windows has run down and the wooden framework at the bottom of the windows is rotted away. They are fearful one of the windows might "fall" out.

One of the volunteers wants to bring her husband in and "board up" the bottom part of the windows to make it safer, regardless of what it looks like! Fortunately one of Main Street's members asked me to talk to the director about your services. She was quite impressed there would be no charge!

A present day picture is also enclosed.

Looking forward to seeing you in Springfield.

Sincerely,

Pat McCammon
Program Manager

Encs.



ILLINOIS MAIN STREET

ILLINOIS HISTORIC PRESERVATION AGENCY

DESIGN ASSISTANCE REQUEST FORM

OWNER INFORMATION

Applicant Name: BETTY L. TURNER

Applicant Address and Phone: 521 LOCUST ST, MARSHALL (217) 826-2864

Building Address: 521 LOCUST STREET

Business Name and Phone: CLARK COUNTY Genealogical Library (217) 826-2864

Business Owner: SAME

Building Owner: SAME

Owner Address and phone: SAME

PROPERTY INFORMATION

Date of building's original construction/ later modifications: circa 1870s

Present use: Genealogical Library Proposed use: SAME

Has the property been listed or nominated for listing on the National Register, either individually or as a part of a Historic District? Yes or No

PROJECT INFORMATION

Please check the improvements made to the property in the past five years:

- roof work
- repointing/masonry work
- interior remodeling
- other (please specify) _____
- storefront rehabilitation
- mechanical work
- electrical work
- sign improvement
- painting (exterior)
- repair/replace windows

ONE OLD STATE CAPITOL PLAZA SPRINGFIELD, IL 62701
 MAIN: 217.782.4836 FACSIMILE: 217.524.7523
 Jan Johnston, AIA 217.557.2851 jjohnsto@ipedsba1.state.il.us
 Chris Knorr 217.782.9336 cknorr@ipedsba1.state.il.us
 Anthony Rubano 217.782.7450 arubano@ipedsba1.state.il.us
 Christina Mitchell 217.785.5054 cmitchel@ipedsba1.state.il.us

Please check the improvements you are currently considering implementing:

- | | | |
|---|--|--|
| <input type="checkbox"/> lawn treatment | <input type="checkbox"/> storefront rehabilitation | <input type="checkbox"/> window repair/upgrade |
| <input type="checkbox"/> painting (exterior) | <input checked="" type="checkbox"/> facade restoration | <input type="checkbox"/> building maintenance |
| <input type="checkbox"/> sign improvement | <input type="checkbox"/> upper floor conversion | <input type="checkbox"/> handicapped accessibility |
| <input type="checkbox"/> other please specify _____ | | |

Colors currently used for: _____

Signage: _____ Promotional materials: _____

Project Budget:

- less than \$2,000 \$2,000 - \$5,000 \$5,000 - \$10,000 over \$10,000

Estimated date to start project: July Month 2001 Year

Additional Comments: Not for profit organization - Cost
major factor in final disposition - Present
windows not securely in place. Safety is
a concern.

Illinois Main Street design services are preservation-based recommendations provided by the Illinois Historic Preservation Agency; recipients are free to use the recommendations at their discretion. Recipients are required to share project cost information with the local Main Street program.

Please remember to include the following:

- copies/examples of business cards, promotional materials, letterhead, logos, etc.
- any available historic photos of the property (quality photocopies are acceptable).

Applicant signature: Betty L. Surver Date: 7 Mar, 2001

Please return this form to your Main Street manager



Illinois Historic Preservation Agency

500 East Madison Street • Springfield, Illinois 62701-1507 • (217) 782-4836 • TTY (217) 524-7128

July 24, 2002

Betty Turner
521 Locust Street
Marshall, IL 62441

Dear Ms. Turner:

Enclosed you will find a revised rendering of the store front for the Clark County Genealogical Library. As I wrote previously, the existing storefront is a very special Art Moderne style which incorporates the use of "structural glass" also known as Carrara glass or Vitrolite. From the 1920'S through the 1950's storefronts were often renovated using this material.

The existing windows were a part of the sleek design that included the black structural glass, which is why I feel that it is important to retain the approximate dimensions of those windows. New storefront windows would be tempered, insulated glass and more energy efficient than the existing. They can be purchased in a clear anodized aluminum finish that should closely resemble the existing aluminum finish. Kawneer is a common commercial window manufacturer that I would recommend. Their more economical Encore line of windows can run approximately \$25-\$30 a square foot. Contact your local glass supplier to see what line of storefront system they carry.

Option A indicates the sills to be raised by 6 inches or so with pressure treated wood, properly waterproofed and flashed with matching aluminum. Option B shows the sill to be raised 12"-16". The area beneath the windows may be a variety of materials, although black structural glass to match the existing would be my first choice. If glass is not used, any smooth finish material would work, such as MDO plywood or "Hardipanel" (smooth fiber-cement panels), black ceramic tile, or the "Nu-alum" or "Fiber-lite" prelaminated smooth paneling system, both available in black that was indicated in the previous scheme. Although there is brick in the area beneath the windows of other buildings around the square, I would not recommend that it be used in this case because it would not have been a material used during the original construction or when the storefront was renovated to include the structural glass.

www.state.il.us/hpa/ps

FACSIMILE: 217.524.7525

Architecture and Downtown Revitalization Section

Jim Johnston, AIA 217.557.7851 jim_johnston@ihpa.state.il.us

Chris Knorr 217.782.9336 chris_knorr@ihpa.state.il.us

Anthony Rubano 217.782.7459 anthony_rubano@ihpa.state.il.us

Anna Margaret Borntrager 217.785.5054 anna_margaret_borntrager@ihpa.state.il.us

I have included information on the history of storefronts in Illinois (see page 11 for Art Moderne and Art Deco), and on the preservation of structural glass. Also included is product information on Kawneer window, Hardipanel siding, and Nu-alum and Fiber-lite paneling.

If you are considering new signage for the building, I strongly recommend retaining the historical integrity of the storefront by retaining all of the black structural glass. Individual letters in a font appropriate to the period, mounted directly on to the glass would be appropriate to the design of the storefront. The font I have chosen for the sign letters is RIBBON. They are to be made of one-inch thick minimum PVC, with a brushed aluminum laminate applied to the face. Sides of the letters shall be painted to match the laminate front. The letters should be applied directly to the glass with a "3M" foam tape adhesive. Edges of the letters may be sealed with a silicon sealer. You may contact your local sign company to see if they can produce or acquire the particular font, or you may contact Ace Sign Company in Springfield (217-522-8417) to supply the letters to be installed by a local sign company. The exact size of the letters should also be determined by the local installer. As for the removal of the existing glass sign, I recommend either salvaging the letters, and keeping them with the building or you may contact Tim Dunn from St Louis, a structural glass specialist, to see if he is interested in acquiring the letters. He may be reached at 314-645-4317. You may also check out his web site at vitrolitespecialist.com

Also as we discussed, I do not recommend the side of the brick building be covered with new vinyl siding, or any material other than paint. Although the Preservation Brief on Aluminum and Vinyl Siding I have enclosed primarily addresses its application on wood construction, much of the information also applies to brick, specifically "Applying Siding without Dealing with the Existing Problems" on page five. I recommend dealing with any of the structural concerns that you mentioned, determining any potential areas that water may be damaging the mortar (improper site drainage, downspout problems, roof leaks, etc.) then repointing of the mortar as required and finally, painting to match the existing yellow. Because the use of a modern, high strength, Portland cement mortar can seriously damage the brick, it is absolutely imperative that the mason selected for the repointing understands the use of historic mortars.

In addition to the product information, I have also enclosed Preservation Briefs on masonry repointing, structural glass and storefronts (see page 11-12 for Art Deco & Art Moderne). Please feel free to contact me if you have any questions about what I have proposed or if other issues arise.

Sincerely,



Chris Knorr

Illinois Historic Preservation Agency, Project Designer

*Return to
Panel Systems*

*Return to
NUDO.com*

*Request your
free sample*

Fiber-Lite[®] Prelaminated

The answer to strength, durability, sanitation and easy maintenance. The Fiber-Lite panel is a tough, fiberglass sheet factory laminated to wafer board or plywood combining the many advantages of wood and fiberglass (FRP). Ideal for new construction of walls, ceilings or partitions.

- White textured or smooth fiberglass (FRP), .030" laminated to waferboard, plywood, fire-rated particleboard or gypsum board
- USDA certified surface.
- Wood substrate for structural strength rigidity
- Resists moisture, stains, odors, chemicals, impact and scratches.
- Attractive textured or smooth surface will not hold dirt or food particles.
- 100% moisture barrier -- 8 mil poly backer available
- Cleans easily with steam, high pressure sprayers or soap and water
- Class C Fire-Rated surface, Class A available
- All necessary moldings and fasteners available for easy installation
- Tongue and groove panels available
- USDA and MID certified surface
- Installs directly to studs, ceiling joists, furring strips or solid walls
- Available in colors, various sizes and other substrates.
- .050" and .090" (FRP) overlays available for high abuse areas



Panels are available in the following colors White 50, White 148, Smooth White 000, Almond 698, Beige 293, Red 132, Blue 525, Black 806, Pearl 750, Bronze 298, Bourdeaux 139, Dark Gray 710, Orange 131, Brown 277, Pink 138, Jade 484, Green (light) 467, Dark Green 233, Yellow 334, Khaki 203

| Product No. | Thickness & Description | Size |
|-------------|-------------------------------|-----------------|
| F3P250 | 1/4" Fir Exterior Plywood | 4' x 8' |
| F3P375 | 3/8" Fir Exterior Plywood | 4' x 8',10',12' |
| F3W375 | 3/8" Wafer board -- OSB | 4' x 8',10',12' |
| F3DF375-FR | 3/8" Fire-Rated Particleboard | 4' x 8',10' |
| F3P500 | 1/2" Fir Exterior Plywood | 4' x 8',10',12' |
| F3W420 | 7/16" Wafer board - OSB | 4' x 8' |
| F3DF500-FR | 1/2" Fire-Rated Particleboard | 4' x 8',10' |
| F3W625 | 5/8" Waferboard - OSB | 4' x 8' |
| F3PB625-FR | 5/8" Fire-Rated Gypsum | 4' x 8',10' |

NOTE: Use Letter "S" for Smooth (SF3P375)



ILLINOIS MAIN STREET
ILLINOIS HISTORIC PRESERVATION AGENCY

MEMORANDUM

RECEIVED
10/18/01

Copy hand delivered
to Betty 10/18/01
3:30 PM
met w/ design
comm.

Date: 10-17-01

To: PAT McLAMMON

From: Chris Knorr, Illinois Main Street Designer

Phone: 217.782.9336

Re: CLARK COUNTY GENEALOGICAL LIBRARY

Remarks: HERE ARE 2 COPIES, ONE
FOR YOU, AND ONE FOR YOU TO
TAKE TO BETTY TURNER.

CALL ME w/ ANY QUESTIONS OR
I WILL CALL TO CHECK ON

Chris



ILLINOIS MAIN STREET
ILLINOIS HISTORIC PRESERVATION AGENCY

October 17, 2001

Betty Turner
521 Locust Street
Marshall, IL 62441

Dear Ms. Turner:

Enclosed you will find a proposed rendering of the store front for the Clark County Genealogical Library. The existing storefront is a very special Art Moderne style which incorporates the use of "structural glass" also known as Carrara glass or Vitrolite. From the 1920's through the 1950's storefronts were often renovated using this material. One of the things that makes this storefront unique is the fact that the cast iron columns were left uncovered, hinting at a previous renovation. From the photographs I was shown of the building, I understand that even before those columns, the storefront consisted of a series of brick arches.

The existing windows were a part of the sleek design that included the black structural glass, which is why I feel that it is important to retain the approximate dimensions of those windows. New storefront windows would be tempered, insulated glass and more energy efficient than the existing. They can be purchased in a clear anodized aluminum finish that should closely resemble the existing aluminum finish.

When the windows are replaced the sills can be raised by 6 inches or so with pressure treated wood, properly waterproofed and flashed with matching aluminum. Kawneer is a common commercial window manufacturer, that I would recommend. Their more economical Encore line of windows can run approximately \$25-\$30 a square foot. I understand that figure will quickly add up which is why as a cost saving measure, the two window walls on either side of the doors could be enclosed. The two round "portal" windows will blend aesthetically with the "modern" storefront and can be from any stock window manufacturer. Ideally, the finish of the two walls should be black structural glass to match the glass above, although that cost per square foot would approach the cost of new storefront windows. If glass is not used, any smooth finish material would work, such as MDO plywood or "Hardiboard" (smooth fiber-cement panels).

I have included information on the history of storefronts in Illinois (see page 11 for Art Moderne and Art Deco), and on the preservation of structural glass. Also included is product information on Kawneer windows and Hardiboard.

500 EAST MADISON STREET SPRINGFIELD, IL 62701
MAIN: 217.782.4836 FACSIMILE: 217.524.7525
Jim Johnston, AIA 217.557.7851 jim_johnston@ihpa.state.il.us
Chris Knorr 217.782.9336 chris_knorr@ihpa.state.il.us
Anthony Rubano 217.782.7459 anthony_rubano@ihpa.state.il.us
Christina Mitchell 217.785.5054 christina_mitchell@ihpa.state.il.us

I realize that your budget is of high concern. Although the window replacements will not be "cheap", I do encourage you to purchase a quality product. The existing windows have had a life span of at least 50 years. Spending the money on quality replacements may be a high initial expense, although they could last equally as long.

Should you chose to pursue the addition of the structural glass, or have questions about possible repairs of the existing, Illinois is lucky to have an expert located in the St. Louis area. His name is Tim Dunn and can be reached through his web site at www.vitrolitespecialist.com.

Please feel free to contact me with any questions that you may have about these thoughts or any other ideas that you may have.

Sincerely,

A handwritten signature in black ink, appearing to read "Chris Knorr". The signature is fluid and cursive, with the first name "Chris" written in a larger, more prominent script than the last name "Knorr".

Chris Knorr
Illinois Main Street Project Designer

cc: Pat McCammon

James Hardie: North America: Building Products: Product Information: Products: Siding: Hardipanel

*Perhaps it's time to build the home you
see everytime you close your eyes...*



HARDIPANEL[®] Vertical Siding

The Warmth of Wood, the Durability Of Fiber-Cement
50-Year Transferable Warranty
Resists Moisture Damage
Low Maintenance
Won't Crack, Rot Or Delaminate
Withstands Termite Attack
Non-Combustible

Hardipanel exterior siding is a durable, attractive alternative to traditional wood composite, cedar, vinyl, brick or stucco sidings.

Combining the look and warmth of natural wood with the durability of fiber-cement,

Hardipanel resists damage from extended exposure to humidity, rain, snow, salt air and termites. It is dimensionally stable and under normal conditions will not crack, rot or delaminate.

Hardipanel installs just as easily as natural wood siding - but offers a lifetime of low maintenance backed by a 50-year product warranty.

Ideal for residential and light commercial applications, Hardipanel lap siding is available factory primed in four attractive profiles. A variety of widths provide regional design flexibility.

James Hardie also offers finishing touches like [Hardisoffit](#) and Harditrim in textures to complement the siding of your choice.

Home Plans Book
from James Hardie



[Order now and receive a special 50% introductory discount](#)

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James Hardie

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E-mail: info@JamesHardie.com

vertical siding, hardiepanel, hardipanel, panel board, hardie panel, hardi panel, panel siding, Hardie, Hardy, Hardiplank, Hardiboard, siding, backerboard, fiber cement, building products, siding, fiber cement, building products, siding, siding, tile underlayment, ceramic tile, Hardie, Hardy, Hardiplank, Hardiboard, siding, backerboard, fiber cement, building products, siding, fiber cement, building products, siding, siding, tile underlayment, ceramic tile, backerboard, backerboard, backerboard

James Hardie - North America - Building Products - Product Information - Products - Siding - Hardipanel - Product Specs

HARDIPANEL[®]

Vertical Siding

Product Specifications

Basic Composition/Size

Portland cement, ground sand, cellulose fiber, select additives and water. Hardipanel contains no asbestos, fiberglass or formaldehyde.

Smooth

4'x8', 4'x9', 4'x10'

Stucco

4'x8', 4'x9', 4'x10'

Sierra-8" (8" on-center)

4'x8', 4'x9', 4'x10'

Cedarmill

4'x8', 4'x9', 4'x10'

Approvals

Hardipanel vertical siding is recognized as exterior claddings in National Evaluation Service (NES), Inc., Report No. NER-405 (BOCA, ICBO, SBCC8); City of Los Angeles, Research Report No. 24862; Texas Department of Insurance; United States Department of Housing and Urban Development; and City of New York MEA No. 223-93-M. These documents should also be for additional information concerning the suitability of this product for specific applications.

Durability

James Hardie fiber-cement building products are autoclaved, will not rot and resist permanent damage from water and salt spray.

Flexural Strength

Typical based on Equilibrium Moisture Content in accordance with ASTM test method C1185.

Along direction of sheet: 1850 psi

Across direction of sheet: 2500 psi

Non-Combustibility

Hardipanel siding is non-combustible and shows no flame support or loss of integrity when tested in accordance with ASTM test method E-136.

Surface Burning Capabilities

When tested in accordance with ASTM test method E-84:

Flame spread: 0

Fuel Contributed: 0

Smoke Developed: 5

Thermal Resistance

(Approximate values)

5/16" thick: R = 0.15

*Refer to National Evaluation Service Report No. NER 405.

Handling & Storage

Siding should be stacked on edge or laid flat on a smooth, level surface. Edges and corners should be protected from chipping. To ensure optimum performance, store siding under cover and keep dry prior to installing. If siding should become wet, allow to dry thoroughly before installing.

Finishing With Paint

Finish the job by painting Hardipanel with a high quality, exterior grade, 100% acrylic latex paint which may be sprayed, rolled or brush applied. Hardie sidings have excellent paint retention qualities that will keep your siding looking great well after other sidings need repainting. But remember, paint performance is dependent upon the quality of paint applied and the conditions under which it is applied. Always follow the paint manufacturer's written [recommendations](#) for application and maintenance of field applied paints.

Surface Textures

Hardipanel vertical siding is available in an array of beautiful textures: Smooth, Stucco, Sierra-8". Sierra-8" provides a natural, rustic appearance with 5/8" grooves, 8" on-center. Smooth and Stucco textures help you achieve the exact look you want with the durability and reliability of a fiber-cement siding.

Factory Priming

Hardipanel is also available factory primed. Our long lasting, acrylic-based primer provides full, even coverage, furnishes an excellent surface for adhesion of latex or oil based topcoats and reduces in-place siding costs.

50-Year Warranty

James Hardie exterior siding products are protected by a 50-Year Limited, Transferable, Product Warranty. Copies are available wherever James Hardie products are sold or from James Hardie Building Products.

[Return to Hardipanel](#)



James Hardie

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James Hardie Building Products Inc.

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E-mail: info@JamesHardie.com

Hardie, Hardie, Hardiplank, Hardiboard, siding, backerboard, fiber cement, building products, siding, fiber cement, building products, siding, siding, the only way to finish your exterior wall. Hardie, Hardie, Hardiplank, Hardiboard, siding, backerboard, fiber cement, building products, siding, fiber cement, building products, siding, siding, the only way to finish your exterior wall. Hardie, Hardie, Hardiplank, Hardiboard, siding, backerboard, fiber cement, building products, siding, fiber cement, building products, siding, siding, the only way to finish your exterior wall.



▲ Customer Service Center, Blue Cross and Blue Shield of Louisiana, Baton Rouge, La.
Architect: Architectural Group of Baton Rouge, La.

EnCORE® Thermal Framing System

A Proven Performer Reveals Ingenious Features

Taking center stage in Kawneer's lineup, EnCORE Thermal Framing System is a two-piece, face-and-gutter system that offers thermal economy, a Structural Silicone Glazing (SSG) option and numerous design choices. Engineered for easy installation and lower costs, features include the unique QuickSeal™ self-sealing system, a broad selection of system depths and a 1 3/4-inch minimal sight line. EnCORE readily adapts to

remodel projects and new construction, whether traditional or modern architecture.

Economy

■ EnCORE's patent pending QuickSeal "dry glazed" framing system is the first to eliminate joint sealant at horizontal joints, making it more cost-effective. The vertical gasket runs through and when "pinched" by the

head, sill and intermediate horizontals, a watertight seal is created eliminating the need for sealant.

- By using the same extrusions for horizontal and vertical mullions, metal utilization is maximized; in addition, the tongue on the extrusions eliminates the need for a secondary, continuous water deflector, thus economizing on installation costs and time.

EnCORE requires no setting block chair at intermediate horizontals. And at the sill, the system utilizes a simple setting block chair that fits snugly within the glazing pocket and requires no fastening. The system accepts standard 1-inch or 1/4-inch infills and can also be adapted to accept other infills in 1/8-inch increments.

- The top loaded glazing gaskets are the same as those used in Trifab® 400, 450 and Trifab VG® 451 and 451T (Thermal) Framing Systems. This helps to reduce field labor and minimize inventory requirements.
- Providing single source responsibility, Kawneer Entrances, Windows, GLASSvent™, Curtain Walls and Slope Glazing are compatible with EnCORE.

Performance

EnCORE's specially engineered thermal clip eliminates metal-to-metal contact by snapping onto the mullion. The cover then snaps onto the clip for true thermal integrity. In addition, the clip has an extended leg on one side which acts as a "w" block and prevents shifting of glass due to climate changes and building movement.

Engineered to meet or exceed certified performance requirements for air and water infiltration, EnCORE has been fully tested according to ASTM E 283 and ASTM E 331. Thermal testing was completed in accordance with AAMA 1500.

EnCORE also offers architects and building owners the ability to determine project-specific U-values by referring to thermal tables in Kawneer's

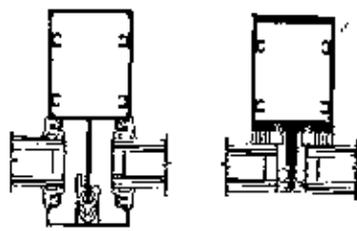
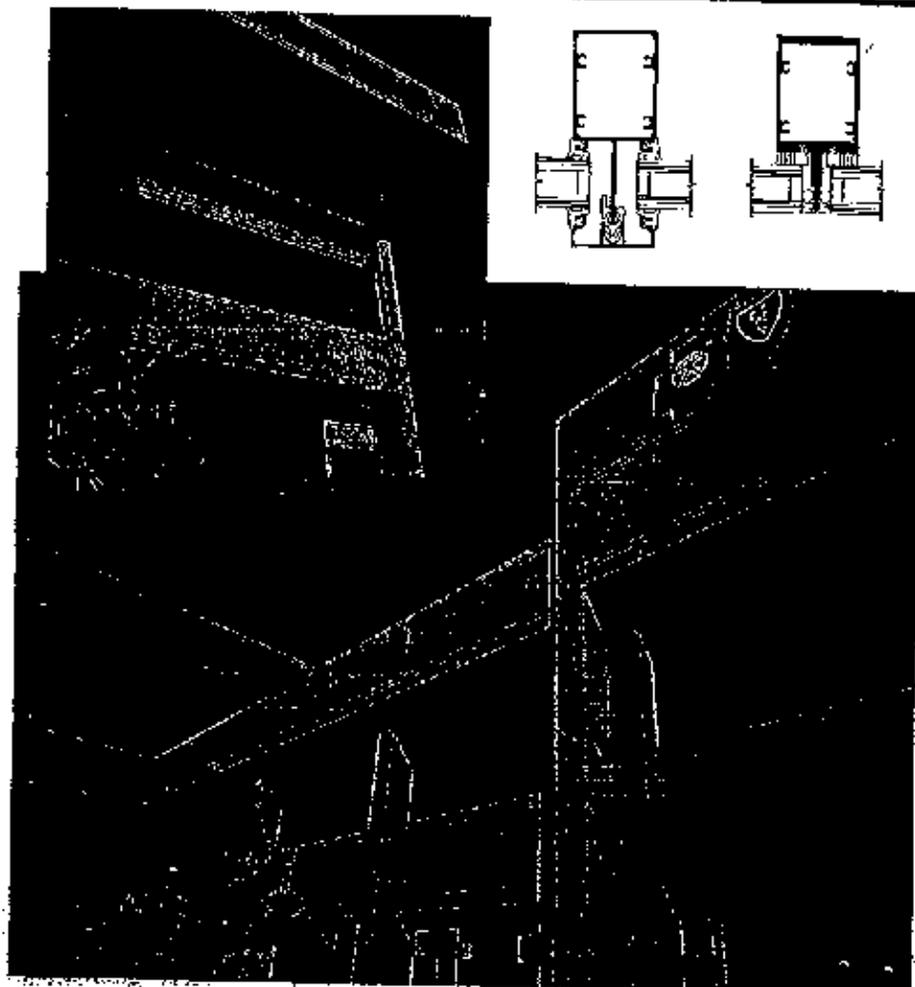


The Mark of Responsibility

Kawneer Company, Inc.
An Alcoa Company
Technology Park/Atlanta
555 Guthridge Court
Norcross, GA 30092
770/440-5555

ISO 9031 REGISTERED

© Kawneer Company, Inc., 1990



SmartSolutions® CD-ROM or architectural manual. Unique to Kawneer, these tables enable U-value calculations for each project by utilizing the total glass percentage and the project's center of glass (COG) U-value.

Aesthetics

For additional freedom of expression, EnCORE offers front or center glazing options. A Structural Silicone Glazing (SSG) option is also available. And to provide greater design flexibility, EnCORE'S adjustable face-and-gutter system offers a range of system depths from 3 3/4 inches, 4 1/2 inches to 6 inches front glazed and 4 1/2 inches center-glazed. The 1 3/4-inch minimal sight line provides consistent design aesthetics while a 1 1/4-inch perimeter sight line is also available.

Since the exterior face and interior mullions are separate pieces, two-color design considerations are easily realized. Another key feature of EnCORE's separate components is that they are easily adapted to curved applications.

▲ Childer Services Center, Blue Cross and Blue Shield of Louisiana, Baton Rouge, La.
Architect: Architectural Group of Baton Rouge, La.

EnCORE is available in three fabrication methods: screw spline, shear block or Type B which is a combination of both.

For the Finishing Touch, Kawneer offers:

- Permannodic® Anodized finishes -- available in four standard choices
- Painted finishes -- available in 42 standard choices and unlimited custom colors:

Fluoropolymer coatings that meet or exceed AAMA 2604 and AAMA 2605 and provide enduring color with high performance and durability.

Powder coatings that meet AAMA 2604 specifications and add the green element with solvent-free, high performance and durability for environmentally friendly buildings.

12 PRESERVATION BRIEFS

The Preservation of Historic Pigmented Structural Glass

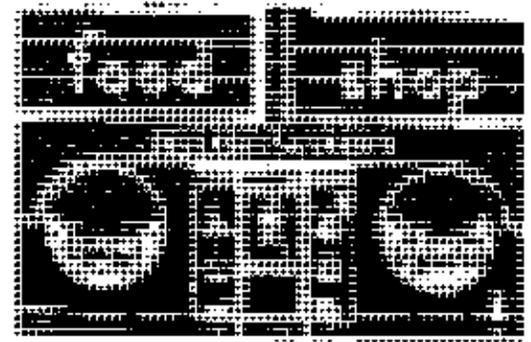
(Vitrolite and Carrara Glass)

U.S. Department of the Interior, National Park Service
Rocky Mountain Regional Office, Cultural Resources Division

The dramatic growth and popularization of the early 20th century Art Deco, Streamline, and Moderne architectural styles were fueled, in part, by technological advances in the building materials industry. New products, such as stainless steel and plastics, enlarged the realm of architectural design. The more traditional materials, on the other hand, quickly developed fresh, innovative forms and uses. For example, the architectural glass industry became especially creative, introducing a series of new glass products known as structural glass. Used predominately for wall surfacing, these now familiar products included glass building blocks, reinforced plate glass, and pigmented structural glass. Pigmented structural glass, popularly known under such trade names as Carrara Glass, Sani Onyx (or Rox), and Vitrolite, revolutionized the business and rapidly became a favorite building material of the period's architects and designers.

The versatility of pigmented structural glass contributed to its popularity. Not only could the material be applied to both the exterior and interior, the glass could be sculptured, cut, laminated, curved, colored, textured, and illuminated. Often applied directly over existing architecture to remodel older buildings—as well as in new construction—a veneer of pigmented structural glass had the ability to define a building's architectural character as new and up-to-date. Pigmented structural glass also complemented the period's silvery metal accents and affinity for slick, shiny surfaces. A successful application of a structural glass veneer often resulted in a streamlined look characteristic of the Art Moderne architectural style.

As tastes changed and production costs rose, however, pigmented structural glass fell into disfavor and disuse by mid-20th century. With today's rekindled interest in the Art Deco, Art Moderne, and Streamline styles the preservation and replacement of pigmented structural glass have now become an integral part of many rehabilitation projects, particularly in relation to commercial storefronts. This brief, then, was developed in order to address some of the major deterioration problems associated with pigmented structural glass and to recommend methods for maintaining, repairing, and— if necessary— replacing damaged or missing pieces of pigmented structural glass.



Historic Preservation Agency
DIVISION OF PRESERVATION SERVICES
OLD STATE CAPITOL
SPRINGFIELD, ILLINOIS 62701

Early Manufacture and Use of Pigmented Structural Glass

Although pigmented structural glass enjoyed widespread popularity from the beginning of the Great Depression to the outbreak of World War II, its origins can be traced to the turn of the century. In 1900, the Marentha Manufacturing Company claimed to be the first producer of pigmented structural glass, rolling the first sheet of a "substitute for marble," Sani Onyx. Penn-American Plate Glass Company quickly joined its ranks, manufacturing white and black Carrara Glass around 1906. Penn-American Plate Glass no doubt selected the name "Carrara" for the white glass's close resemblance to the white marble of the Carrara quarries of Italy. Shortly thereafter, Libby-Owens-Ford Glass began production of their own version called Vitrolite.

Initially, Sani Onyx was produced for such utilitarian purposes as refrigerator linings. Manufacturers perceived the glass as a practical, easily cleaned, and sanitary product. Its uses, however, expanded rapidly. By the second decade of the 20th century, consumers viewed pigmented structural glass as an inexpensive substitute for marble counter tops, table tops, wainscoting, and restroom partitions. The first large-scale interior architectural application of pigmented structural glass was in the Woolworth Building (1912-1913) when Architect Cass Gilbert sheathed the restrooms with Carrara Glass. Later in the decade, the decorative possibilities of the glass received even more attention.

As the century progressed, architects began to substitute pigmented structural glass for traditional building materials in new construction. Large expanses of architectural detailing such as sleek door surrounds, polished interior lobbies, and striking commercial storefronts became expected and familiar features within new, expanding downtown business districts in the 1920s and 1930s (see fig. 1).

In addition, designers quickly found pigmented structural glass to be an increasingly popular modernizing material for older and out-of-date buildings. As a result, storefronts became a favorite subject for "modernization." New Deal programs, including low-rate insured Federal

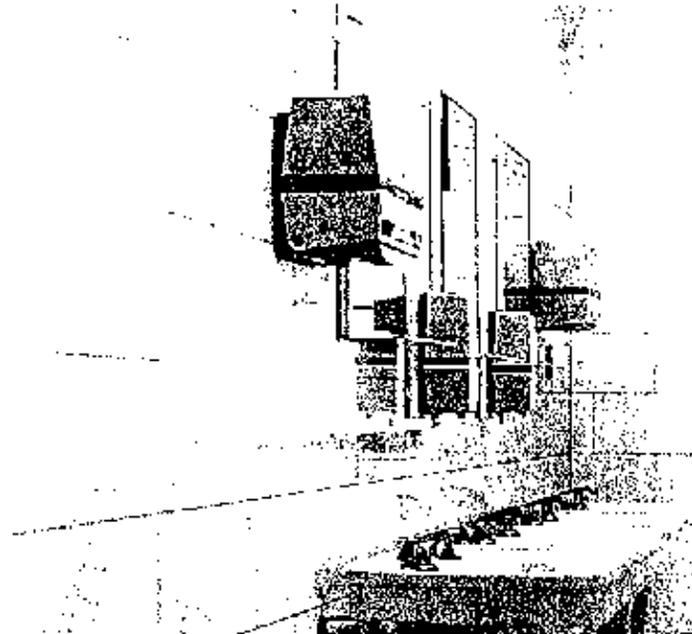


Fig. 4. White pigmented structural glass was used in this remodeling of the U.S. Custom House, Denver, Colorado. Photo: Gregory D. Kenrick.

Historic Material and Installation Specifications

Early 20th century advertisers often promoted pigmented structural glass as a new panacea of the building materials industry. Their claims were not without substance. Unlike masonry units such as terra cotta, pigmented structural glass would not warp, swell, or craze. Nor was the glass highly susceptible to staining, fading, or burning. Like most glass products, it was impervious to moisture and could be easily maintained and usually cleaned with a damp cloth. Adaptable to a wide range of uses, the glass could be colored and textured to attain brilliant visual qualities. Perhaps most important, when compared to marble, the glass was easier to handle, less expensive to use, and simpler to install.

The key to proper preservation and repair of both interior and exterior pigmented structural glass is a thorough understanding of the original material specifications and detailed installation techniques. Fortunately, these specifications and techniques remain virtually unchanged from their first early 20th century application (see fig. 7).

Exterior Installation

Essentially, the glass veneer was applied to a dry, smooth, and solid masonry or plaster-on-masonry substrate using an asphaltic masonry adhesive. Manufacturers recommended against affixing the glass directly to wood, either lath or paneling. Glass thicknesses of 11/32 inch or 7/16 inch were most common for commercial storefronts.

Shelf angles—18-gauge brass or stainless steel, 3 inch square with a 1/2 inch leg fastened directly to the masonry substrate—were used to provide additional support. Inserted along the bottom edge of the panels, they supported every second course of glass and were thus spaced not more than 3 feet apart. Horizontally, the angles were spaced approximately one every 18 inches with at least two used for any piece.

Actual installation involved applying daubs (2 inches to 3

inches in diameter) of hot asphalt based mastic adhesive to the glass and then attaching the glass directly to the substrate. Manufacturers of the mastic recommended coverage of about 50 percent of the glass panels. A full 3 inch width of mastic coverage was recommended around detail edges or any holes in the panels. The mastic was applied in a molten state after being melted in an electric "hot cup." (Hot cups are still manufactured for this specific purpose and are made to hold enough mastic for a single daub.)

The next step in the installation procedure was to push the glass panel onto the masonry substrate. Every horizontal seam and abutment was separated by a 1/16 inch thick adhesive cork tape recessed from the front surface by 1/8 inch. Vertical edges were kept apart at a uniform 1/32 inch. In either case, the joint opening was then buttered with a joint cement which was colored to match the surrounding glass.

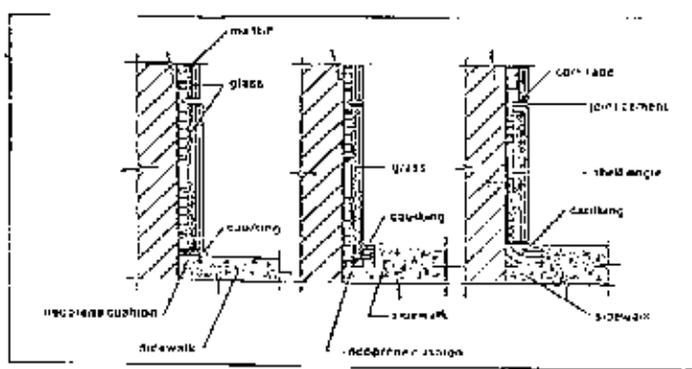
Proper detailing at the edges of the veneer could prolong the life of the pigmented structural glass. For example, to prevent possible chipping and cracking of the glass where it met the sidewalk, a cushion of neoprene or leather was provided and the exposed surface then caulked (see fig. 8). The side edges of the glass were detailed in a variety of methods or the glass simply terminated at the desired location with the ends ground smooth (see fig. 9). In either case, the edge was secured to the substrate with a mastic and the joints or void filled with joint cement or caulking compound. Where the edge of the glass abutted another material, such as the brickwork of a neighboring storefront, the glass was held back 1/8 inch to 1/4 inch from the adjacent material. The gap was usually filled with pliable caulk to permit expansion and to prevent moisture migration (see figs. 10 and 11).

Interior Installation

Construction methods and materials were quite similar for interior and exterior uses of pigmented structural glass. Most interior veneers were the same thickness and approximate dimension of those used for exteriors. Minor differences did, however, exist. For example, joints between the pieces of glass could be reduced to little more



Fig. 5. Gentlemen's Lounge, Hermitage Hotel, Nashville, Tennessee, presents a dynamic visual arrangement of horizontal black and green pigmented structural glass panels. Photo: Douglas A. Yorke, Jr., AIA



Sections at sidewalk level.

Fig. 8. Courtesy, *Bulletin for the Association for Preservation Technology*, 13 (1981).

weathering. Cracked or open cement joints then accelerated deterioration of the masonry substrate and/or the mastic adhesive bond by allowing water to penetrate the internal system. Water entering the system weakened the bond between the mastic and the masonry substrate or rusted the anchoring shelves. This caused the individual glass panels to gradually slip away from their original positions and fall.

Hardening and Failure of Mastic Adhesive

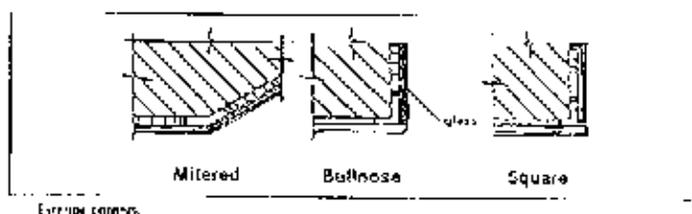
Failure due to long-term hardening of the original mastic adhesive has accounted for a substantial loss of pigmented structural glass panels. The petroleum based mastics normally possessed a 30 to 40 year lifespan. Once flexibility of the adhesive is lost, the glass panels become vulnerable to slippage and eventual destruction (see fig. 13).

Impact Due to Accident/Vandalism

Glass breakage through impact is virtually impossible to prevent. The material is, by its nature, vulnerable to loss through vandalism or accident (see fig. 14).

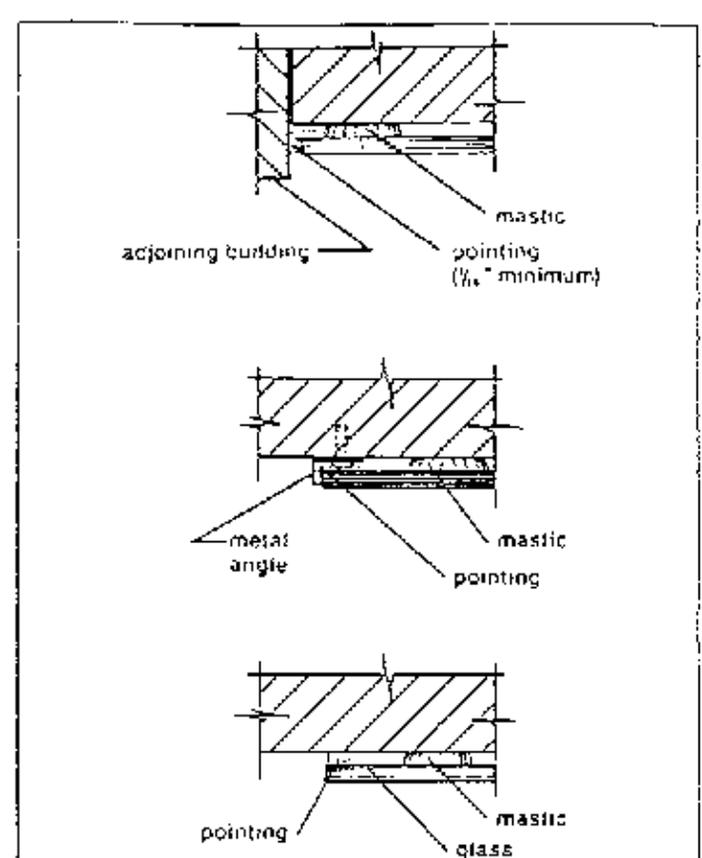
Maintenance and Repair of Pigmented Structural Glass

The maintenance of a dry masonry substrate, mastic, and metal anchors is essential to the longevity of a pigmented structural glass veneer. Thus, repointing cracked or open joints—particularly at ground level where glass abuts concrete—and caulking of slightly cracked glass panels is an ongoing concern. Where drainage to conduct water away from the wall is faulty or insufficient, the problem should be immediately corrected. For example, roof flashing, downspouts, and gutters should be repaired or new systems installed.



Exterior corners.

Fig. 9. Courtesy, *Bulletin for the Association for Preservation Technology*, 13 (1981).



Termination details.

Fig. 10. *Continued*, *Bulletin for the Association for Preservation Technology*, 13 (1981)

Repair of Cement Joints

Cracked or open cement joints, particularly in exterior applications, can present a serious preservation problem because they permit water to penetrate the internal system of a pigmented structural glass veneer. Rusting metal anchors or deteriorating mastic adhesive may be the result. Although the traditional joint cements are easily colored and may be neatly applied, they are no longer recommended for the repair of pigmented structural glass because their longevity is limited. Present-day silicone compounds, on the other hand, offer flexibility, relative impermeability to moisture, ease of installation, and a long lifespan. The proper color match can be obtained by mixing the compound with tinted polyester resins.

Patching Glass Cracks

Any glass panel that can be repaired should not be replaced. Thus, the decision to repair or replace damaged historic pigmented structural glass panels always needs to be made on a case-by-case basis. In many instances, the damage may be so minor or the likelihood of finding suitable replacement glass panels so small that repairing, reanchoring, and/or stabilizing the damaged glass is the only prudent choice.

A slightly chipped or cracked pigmented structural glass panel left unrepaired will inevitably become a source of water infiltration. Careful patching of those cracks with an appropriately colored, flexible caulk will deter moisture penetration while still allowing expansion and contraction with temperature fluctuations. Although patching is by no



Fig. 15. Owners of this small barber shop, Denver, Colorado, have successfully preserved the historic character of their pigmented structural glass storefront by patching the cracked panels with a dark caulking compound. Photo: Gregory D. Kendrick.

mastic may then be removed by directing additional steam on the panel, soaking the panels in hot water to further soften the mastic—or applying appropriate chemical solvents—and scraping off the softened mastic.

Reinstallation of Glass Panels

Due to an accumulation of soot behind the glass, the surface of the masonry substrate usually needs to be cleaned before panels or a wall of pigmented structural glass are reinstalled. After removal of the glass panels has been completed, the substrate should be cleaned using a mild detergent and water, then allowing sufficient time for it to dry. The old glass must also be thoroughly cleaned of soot, grease, or old mastic that would impair bonding of the new adhesive. A mild solution of water and household ammonia will generally clean the surface adequately. The glass may then be reinstalled following a system established during removal.

In reinstalling the glass panels (or new panels to replace any historic glass that has been broken), it is recommended that the mastic adhesive used throughout the 1930s and 1940s be used, because it is still the best bonding material. Although modern silicone compounds offer workability, adhesion, and flexibility, they tend to be expensive when used in the necessary quantity. On the other hand, butyl adhesives do not provide sufficient adhesion on non-porous materials such as pigmented structural glass. Polysulfide-based, synthetic rubber sealants do not have the short set up time of the traditional hot melt asphalt mastic and thus present installation difficulties. Finally, epoxies do not appear to have the plasticity essential for longevity of a glass veneer.

Replacement of Damaged/Missing Glass Panels

Production of pigmented structural glass in the United States ceased several years ago, and only in rare cases have inventories been discovered. Yet, checking all the obvious and not so obvious sources for replacement may prove to be rewarding. Occasionally, long established "jobbers" will have a limited supply of pigmented structural glass. It is not uncommon for glass contractors to buy entire stocks of glass when companies or supply houses go out of business and to use this original material to make repairs on historic buildings.

Locating a source for new glass similar to the historic pigmented structural glass is as much of a problem as finding the original glass. Until about 10 years ago, glass companies near Bavaria in Western Germany were producing a pigmented structural glass called "Detopak." At present, these factories appear to be the only suppliers in the world. The glass is made in small batches, and the color can vary due to the lack of modern mechanization in the pigmenting process. For this reason, American importers generally only deal in white and black glass.

If a satisfactory replacement panel cannot be located, one alternative is to remove a piece of glass from an inconspicuous part of the building and position it on the more prominent facade. Modern spandrel glass, a new substitute material described below, may be considered as a replacement for the less visible area.

Substitute Material for Damaged/Missing Glass Panels

If replacement glass cannot be found to replace broken or missing panels, a compatible substitute material may be considered if it conveys the same visual appearance as the historic material, i.e., color, size, and reflectivity. Two of the historic producers of pigmented structural glass now manufacture a similar product known generically as



Fig. 16. A worker carefully removes a large glass panel by placing a small piece of wood between a flat prying bar and the glass, then exerting steady pressure. The majority of panels were removed without damage using this procedure. Photo: Thomas Kenyon.

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Product Specifications

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Stucco

4'x8', 4'x8', 4'x10'

Sierra-8" (8" on-center)

4'x8', 4'x9', 4'x10'

Cedarmill

4'x8', 4'x9', 4'x10'

Approvals

Hardipanel vertical siding is recognized as exterior claddings in National Evaluation Service (NES), Inc., Report No. NER-405 (BOCA, ICBO, SBCCB); City of Los Angeles, Research Report No. 24862; Texas Department of Insurance; United States Department of Housing and Urban Development; and City of New York MEA No. 223-93-M. These documents should also be for additional information concerning the suitability of this product for specific applications.

Durability

James Hardie fiber-cement building products are autoclaved, will not rot and resist permanent damage from water and salt spray.

Flexural Strength

Typical based on Equilibrium Moisture Content in accordance with ASTM test method C1185.

Along direction of sheet: 1850 psi

Across direction of sheet: 2500 psi

Non-Combustibility

Hardipanel siding is non-combustible and shows no flame support or loss of integrity when tested in accordance with ASTM test method E-136.

Surface Burning Capabilities

When tested in accordance with ASTM test method E-84:

Flame spread: 0

Fuel Contributed: 0

Smoke Developed: 5

Thermal Resistance

(Approximate values)

5/16" thick: R = 0.15

*Refer to National Evaluation Service Report No. NER 405.

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Installation Guide

| Product No. | Thickness & Description | Size |
|-------------|-------------------------------|-----------------|
| N1P375 | 3/8" Fir Exterior Plywood | 4' x 8',10',12' |
| N1P375-Poly | 3/8" Fir Poly-Backing | 4' x 8',10',12' |
| N1W375 | 3/8" Wafer board -- OSB | 4' x 8',10' |
| N1DF375-FR | 3/8" Fire-Rated Particleboard | 4' x 8',10' |
| N1P500 | 1/2" Fir Plywood | 4' x 8',10',12' |

Note: Use Letter "S" for Smooth (SN1P500)

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**Illinois Historic
Preservation Agency**

500 East Madison Street • Springfield, Illinois 62701-1507 • (217) 782-4836 • TTY (217) 524-7128

MEMORANDUM

Date: 7-24-02
To: PAT McCAMMON / TIFFANY MACKE
MAIN STREET MARSHALL
708 ARCHER AVE
MARSHALL, IL 62441

From: Chris Knorr, Project Designer

Phone: (217)782-9336

Re: CLARK CO. GENEALOGICAL LIBRARY

Remarks: HERE ARE TWO SETS OF
INFO, ONE FOR YOU, AND ONE
FOR YOU TO TAKE TO LIBRARY.

www.state.il.us/hpa/ps

FACSIMILE: 217.524.7525

Architecture and Downtown Revitalization Section

Jim Johnston, AIA 217.557.7851 jim_johnston@ihpa.state.il.us

Chris Knorr 217.782.9336 chris_knorr@ihpa.state.il.us

Anthony Rubano 217.782.7459 anthony_rubano@ihpa.state.il.us

Anna Margaret Borntreger 217.785.5054 anna_margaret_borntreger@ihpa.state.il.us

ADDRESS 521 Locust

NAME OF BUSINESS (Marrs Ferry Store Bldg.)

TYPE OF BUSINESS Clerk Co. Genealogical Soc. #

NUMBER OF STORIES 2

TYPE OF USE IF ANY 2ND FLOOR Storage

3RD FLOOR _____

APPROXIMATE WIDTH OF BUILDING 50 FT.

ON CORNER LOT ? _____ YES NO

NUMBER OF PARKING PLACES IN FRONT 3

NUMBER OF PARKING PLACES ON SIDE _____

UNIQUE FEATURES OF BUILDING:

Steel Posts (braces)

COMPLETED BY : Pat. Darril

PROPOSED DESIGN



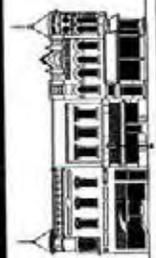
EXISTING STRUCTURAL
GLASS TO REMAIN

NEW, CLEAR, ANODIZED
ALUMINUM STOREFRONT
WINDOW SYSTEM

NEW STUD WALLS ON BOTH SIDES OF DOOR
WITH STRUCTURAL GLASS FINISH OR "NU-ALUM"
PRELAMINATED SMOOTH PANELING
SYSTEM, WITH ROUND WINDOWS.



EXISTING



ILLINOIS MAIN STREET

ILLINOIS HISTORIC PRESERVATION AGENCY
500 East Madison Street Springfield, Illinois 62701 217.782.4836
DEPARTMENT OF COMMERCE AND COMMUNITY AFFAIRS

**CLARK COUNTY
GENEALOGICAL LIBRARY**
521 LOCUST STREET MARSHALL, IL

Drawn By
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Project Number
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Date
10/01

Sheet Of
1 1

PROPOSED DESIGN



EXISTING STRUCTURAL
GLASS TO REMAIN

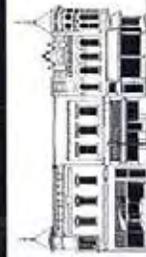
(OPTION "A")

NEW, CLEAR, ANODIZED
ALUMINUM STOREFRONT
WINDOW SYSTEM

(OPTION "B")
12" APPROXIMATE BULKHEAD AREA



EXISTING



ILLINOIS MAIN STREET

ILLINOIS HISTORIC PRESERVATION AGENCY
500 East Madison Street Springfield, Illinois 62701 317-782-4896
DEPARTMENT OF COMMERCE AND COMMUNITY AFFAIRS

CLARK COUNTY
GENEALOGICAL LIBRARY
521 LOCUST STREET MARSHALL, IL

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Date
10/01
(Rev. 7/02)

Project Number
200102B

Sheet Of
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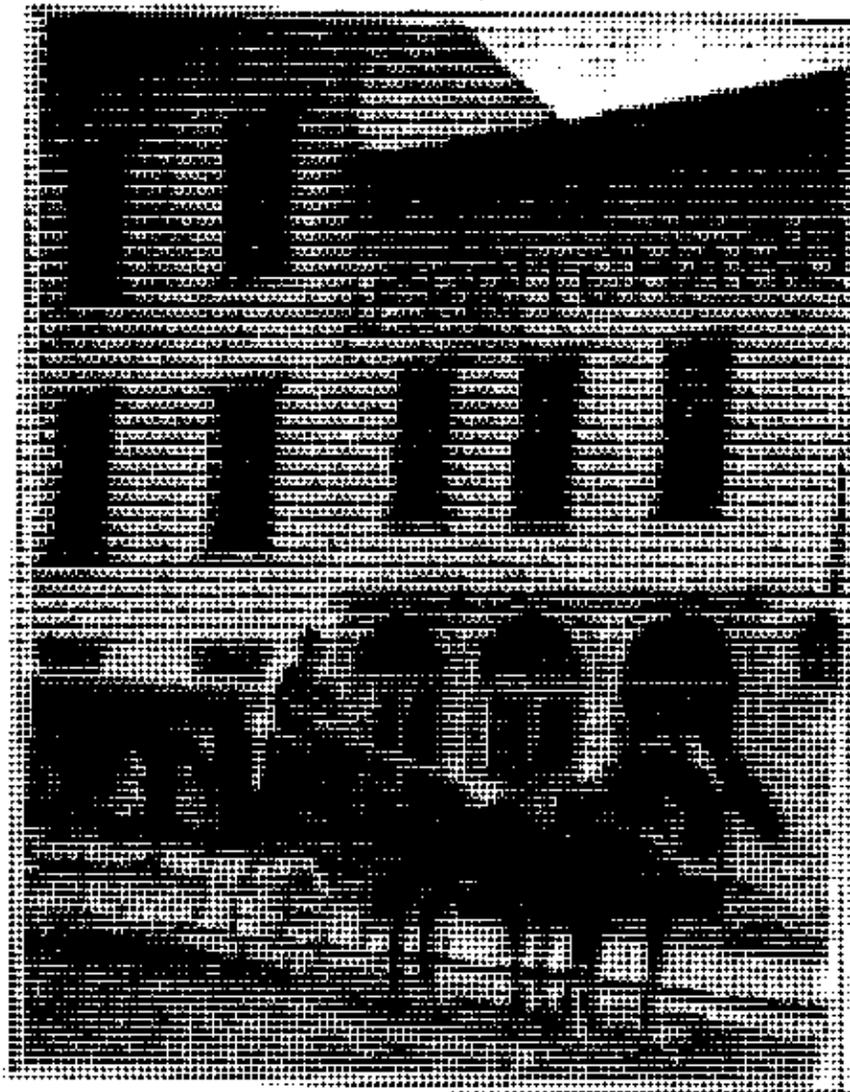
I. F. PRITCHARD, FURNITURE AND UNDERTAKING MARKET STREET (521 LOCUST)

I. F. Pritchard was an undertaker in Marshall from the late 1870s until the early 1900's, at one time conducting funerals out of his home at 202 S 4th Street. He had a furniture store at this location on Market (Locust) with the undertaking business upstairs. At that time most of the funerals were held at a home or in a church.

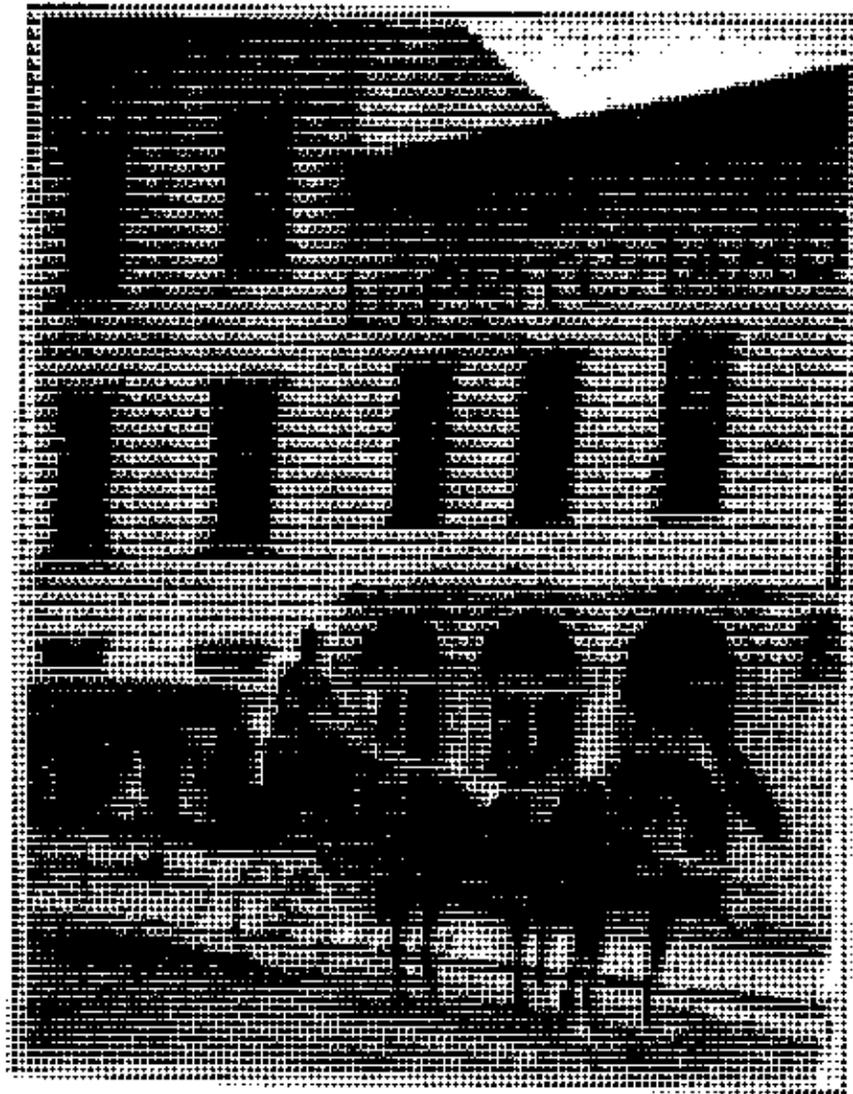
Although the number 106 is shown above the doorway in the second picture, the location of Pritchard's undertaking business is in the 500 block on the south side of Market (Locust) Street between Clinton (5th) and Hamilton (6th) Streets. The Marshall House Hotel was located just to the east of this building. Before and shortly after the street names were changed in 1908 the street numbers on east and west streets began at Hamilton and increased both ways. This numbering system was changed to the present one of numbering from 1st Street toward the east sometime before 1912. Both sets of numbers are shown on the Sanborn Fire Insurance Maps in 1912. The north and south streets are still numbered from Archer Avenue in the center of town.

Horace M. Dewey also had an undertaking business in this location. The store front was remodeled at that time as shown in the third picture. The location is mistakenly identified as the east side of the square in the picture. H. M. Dewey sold the undertaking business to Heber and Wilhelmina Blough in 1929. Mr. and Mrs. Blough moved the business to their new funeral home at 314 S 6th Street in 1930. The furniture business was sold to J. M. Woods.

When Benton and Audrey Marrs moved to Marshall in 1935 they conducted an undertaking business in their home, first at 98 Archer Avenue and, after 1941, at 402 Locust. They operated the Marrs Furniture Store in this location at 521 Locust, enlarging to occupy the storefront to the west (519 Locust) as well. They remodeled the windows and added the black tile to the front of the building. Gene and Patsy Marrs operated the furniture store after Benton retired. They sold the store to the Clark County Genealogical Library, which was earlier located on the grounds of the Clark County Historical Museum at 309 Maple Street.

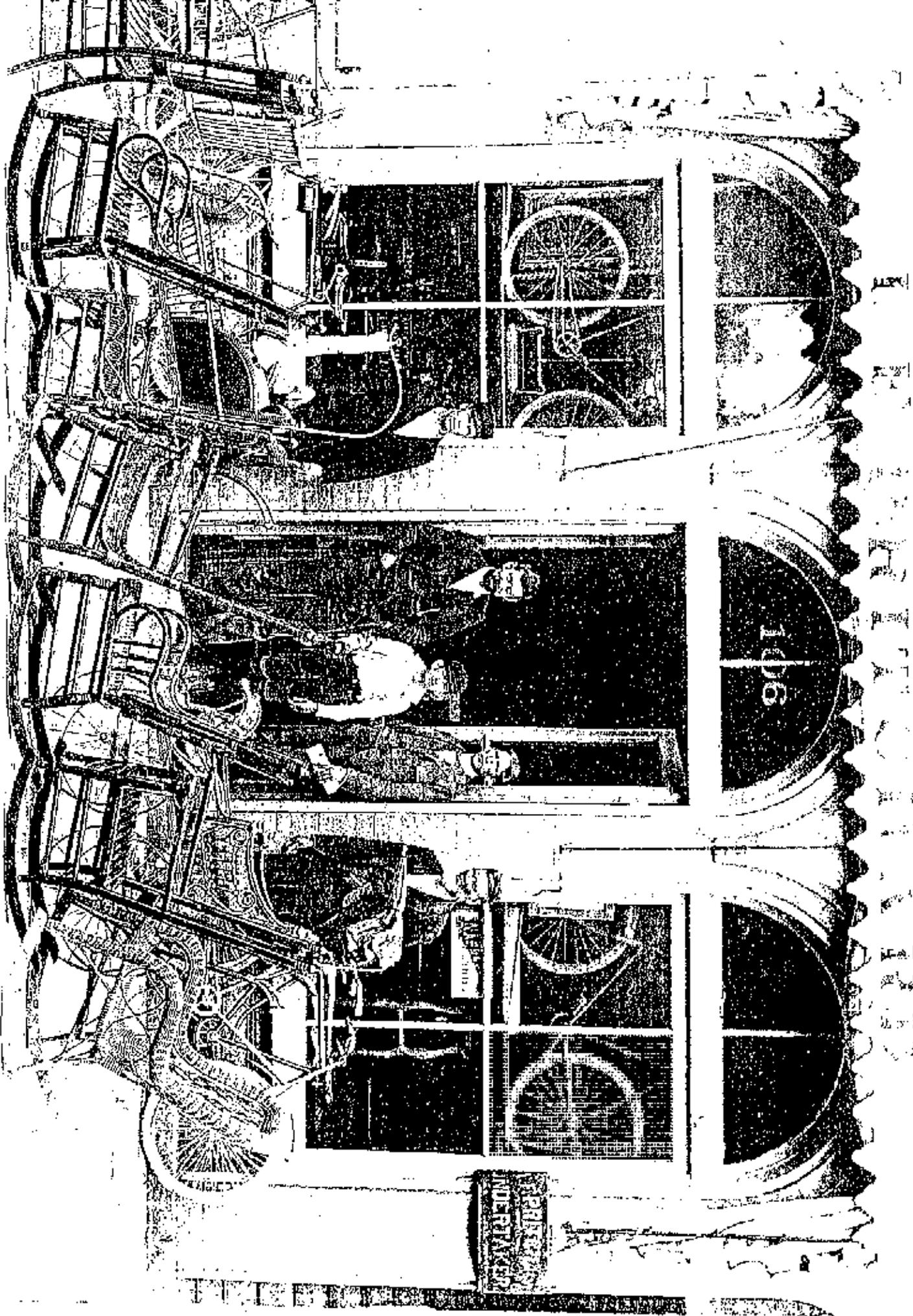


I. F. PRITCHARD'S FURNITURE AND UNDERTAKING STORE

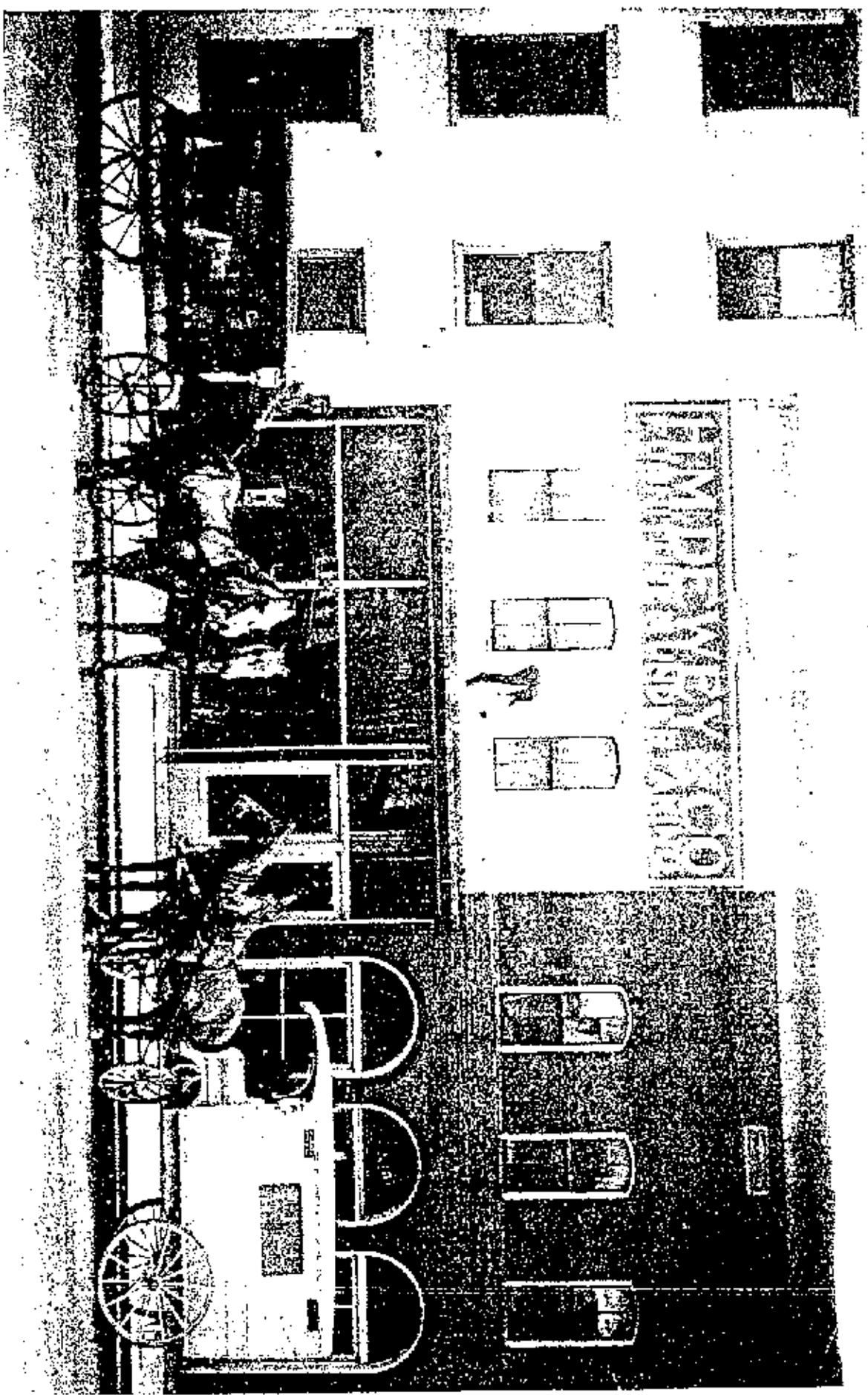


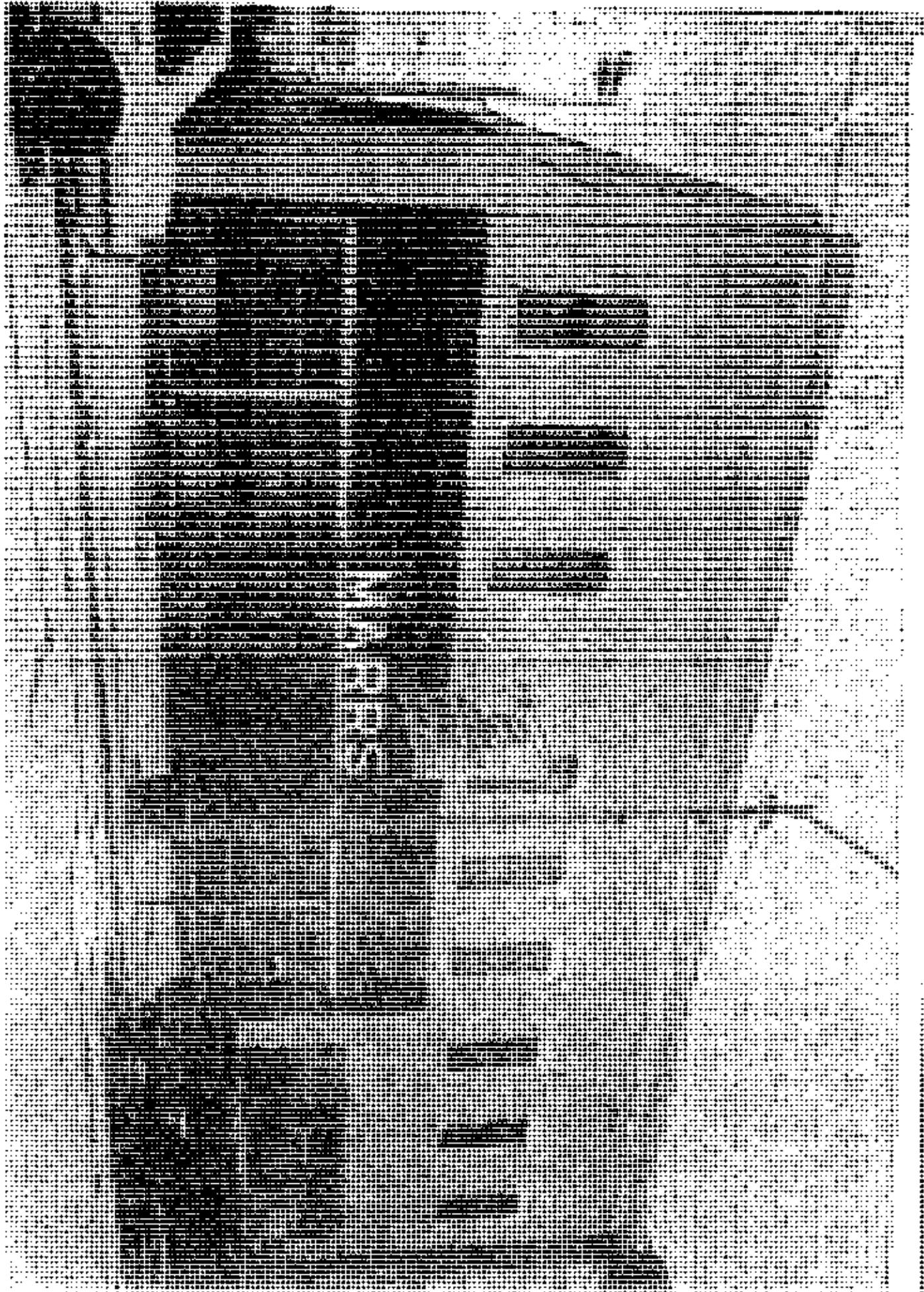
I. F. PRITCHARD'S FURNITURE AND UNDERTAKING STORE

Costs well of Opera furniture. About 1900



THE LEADING FURNITURE AND UNDERTAKING ESTABLISHMENT IN CLARK COUNTY
H. M. DUNN & CO. Undertakers East Side Public Square, Marshall, Illinois





521 Locust

2007

Clark Co. Genealogy Library



Illinois Historic
Preservation Agency



ILLINOIS MAIN STREET

DESIGN ASSISTANCE REQUEST FORM

Applicant Name: Clark Co. Genealogy Library
 Applicant Address: 521 Locust St.
P.O. Box 153
 Town: Marshall, IL 62441 Phone: _____
 Email: _____

Building Address: same
 Town: _____ Zip: _____ Phone: _____
 Business Name: same Business Owner: _____

Building Owner: same
 Owner Address: _____
 Town: _____ Zip: _____ Phone: _____

PROPERTY INFORMATION

Date of building's construction or modifications (if known): _____
 Present use: research library Proposed use: same
 Is the property listed on the National Register, either individually or as part of a district? YES NO

PROJECT INFORMATION

Please check the improvements made to the building in the last 5 years:

- | | | |
|---|---|---|
| <input checked="" type="checkbox"/> Roof work | <input type="checkbox"/> Storefront rehabilitation | <input checked="" type="checkbox"/> Sign improvement <i>in progress</i> |
| <input type="checkbox"/> Repointing/masonry work | <input type="checkbox"/> Mechanical work | <input checked="" type="checkbox"/> Painting (exterior) |
| <input checked="" type="checkbox"/> Interior remodeling | <input checked="" type="checkbox"/> Electrical work | <input type="checkbox"/> Repair/replace windows |
| <input type="checkbox"/> Other (please specify) _____ | | |

Please check the improvements you are currently considering implementing:

- | | | |
|---|--|---|
| <input type="checkbox"/> Awning | <input type="checkbox"/> Storefront rehabilitation | <input checked="" type="checkbox"/> Window repair/upgrade |
| <input type="checkbox"/> Painting (exterior) | <input type="checkbox"/> Facade restoration | <input type="checkbox"/> Building maintenance |
| <input type="checkbox"/> Sign improvement | <input type="checkbox"/> Upper floor conversion | <input type="checkbox"/> Handicapped accessibility |
| <input type="checkbox"/> Other (please specify) _____ | | |

Colors currently used for:

Sign: N/A Promotional materials: N/A

www.illinois-history.gov
www.illinoismainstreet.org

mailed 10/10/2007
Anthony Rubano visit
10/18/2007

Please attach a brief paragraph describing the business for promotional purposes. If we do not receive this information, we cannot issue press releases about the project.

Project budget:

- Under \$5,000 \$5,000 - \$15,000 Over \$15,000

Financial incentives to be taken:

- 10% Rehabilitation Tax Credit for Non-Historic Commercial Buildings Built Before 1936
 20% Rehabilitation Tax Credit for Historic Buildings Local incentives
 50% Disabled Access Tax Credit I would like more information about tax credits

Target start date (month and year): spring/summer 2008

Target completion date (month and year): summer/fall 2008

Please include the following (if available):

- Copies/examples of business cards, letterhead, logo, color swatches, etc.
 Any historic photos of the property (quality photocopies are acceptable).

Additional comments: We are wanting to put in new, weather proof windows with a brick bulkhead beneath to match the west side of the triple black buckling Bennett, Schroeder and Wick are in the west 1/2 and we have the east 1/2.

Applicant signature: Betty L. Turner Date: 27 Sep 07

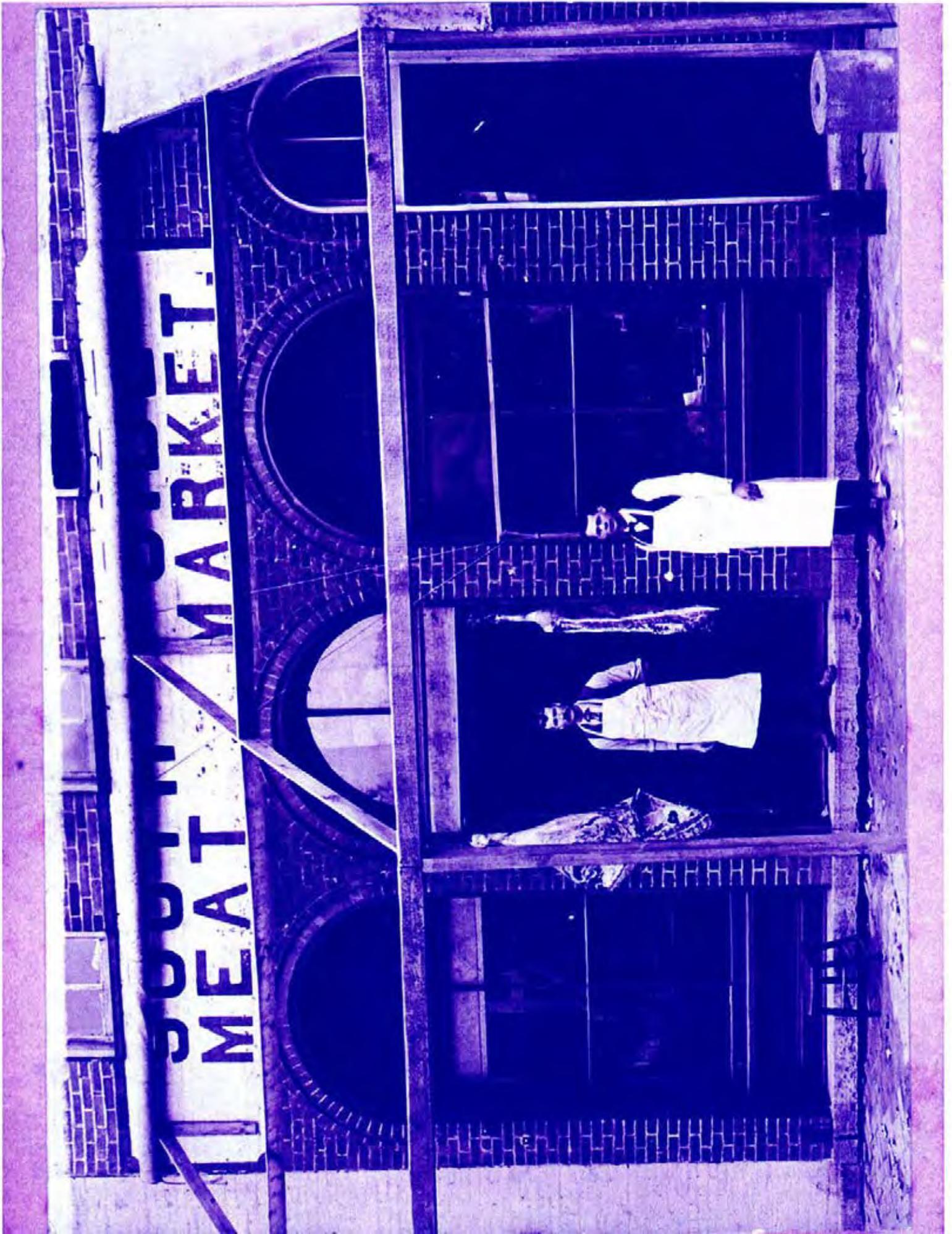
Illinois Main Street Architectural Services are preservation-based recommendations provided by the Office of the Lieutenant Governor and the Illinois Historic Preservation Agency. Recipients are free to use the recommendations at their discretion but are expected to complete the project. Recipients are required to share project cost information and photographs with Illinois Main Street and the local Main Street program within 3 months of completion. IIMS reserves the right to determine the order in which the applications are completed.

Applicants, please return this form and the promotional paragraph to your Main Street Executive Director.
Directors, please return a copy of this form and the promotional paragraph to the following address:

Illinois Main Street
Illinois Historic Preservation Agency
One Old State Capitol Plaza
Springfield, IL 62701

The form can also be faxed to 217-524-7525

SOOTH MARKET MEAT



Found in Ewing's home 2010.
10035 6th
Originally Chenoisworth home

South Side Meat Market
Now Clark County Genealogy Library
East Side.
521 Locust
Marshall, IL





524



519

Locust

517

